



Beck Lane, Collingham

- GROUND FLOOR APARTMENT
- SPACIOUS LIVING AREA
- COMMUNAL GARDEN AREA

- TWO GOOD SIZED BEDROOMS
- ONE CAR PARKING SPACE
- EPC RATING C / TAX BAND C

Offers Over £190,000

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Beck Lane, Collingham

DESCRIPTION

A well-presented ground floor apartment situated in the sought after village of Collingham, with a range of amenities on its doorstep.

The accommodation briefly comprises a communal entrance and stairs to all floors. The Entrance hall to the apartment leads into the living area that enjoys a large window allowing a generous amount of natural light throughout. The kitchen has a range of wall and base units, spaces for a washing machine and fridge freezer, the hob & oven are both electric, with space for a dishwasher. Two good sized bedrooms, and the house bathroom comprises a panelled bath with shower over complete the accomodation.

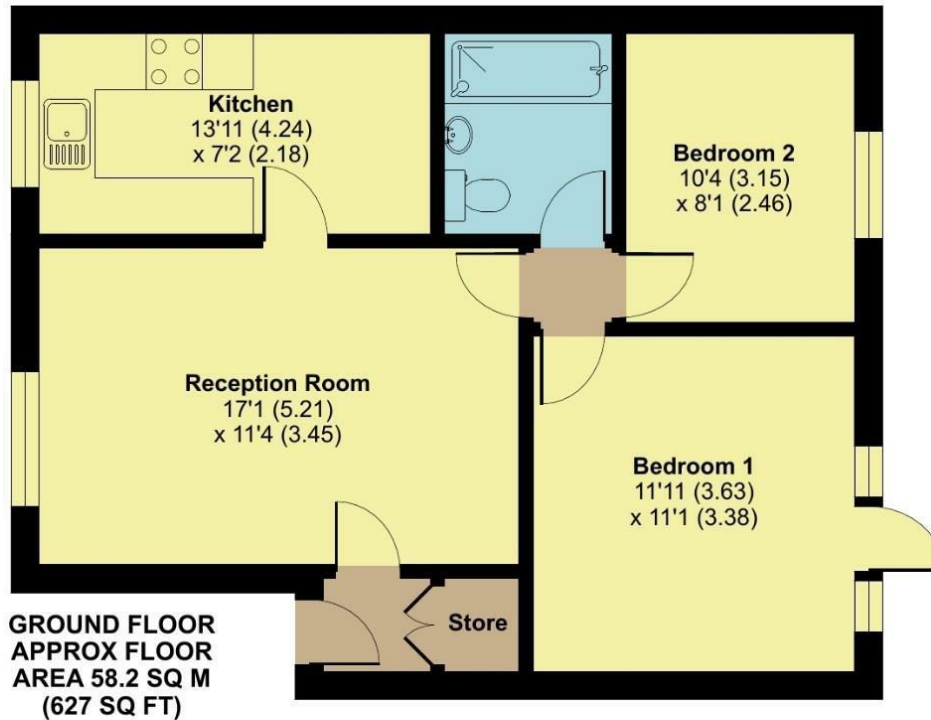
Offering a good range of facilities close by, including excellent local shops, supermarkets, bars and restaurants, superb primary and secondary schools. For the commuter there is excellent access to the A1/M1 link road providing swift and easy commuting throughout the Yorkshire region and beyond.



Beck Lane, Collingham, Wetherby, LS22

Approximate Area = 627 sq ft / 58.2 sq m

For identification only - Not to scale



Certified Property Measurer

Floor plan produced in accordance with RICS Property Measurement Standards incorporating International Property Measurement Standards (IPMS2 Residential). © nitchecom 2023. Produced for Hunters Property Group. REF: 938927

Viewing

Please contact our Hunters Wetherby Office on 01937 588228 if you wish to arrange a viewing appointment for this property or require further information.

5a Market Place Wetherby, LS22 6LQ

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ENERGY PERFORMANCE CERTIFICATE

The energy efficiency rating is a measure of the overall efficacy of a home. The higher the rating the more energy efficient the home is and the lower the fuel bills will be.

Energy Efficiency Rating	Current	Potential	Environmental Impact (CO ₂) Rating	Current	Potential
Very energy efficient - lower running costs			Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A			(92 plus) A		
(81-91) B			(81-91) B		
(69-80) C			(69-80) C		
(55-68) D			(55-68) D		
(39-54) E			(39-54) E		
(21-38) F			(21-38) F		
(1-20) G			(1-20) G		
Not energy efficient - higher running costs			Not environmentally friendly - higher CO ₂ emissions		
England & Wales	EU Directive 2002/91/EC		England & Wales	EU Directive 2002/91/EC	

These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate.

THINKING OF SELLING? If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered

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